



BECKMEYER
ENGINEERING, P.C.

Ms. Brittany Heun, Deputy Clerk
Borough of Caldwell
1 Provost Square
Caldwell, New Jersey 07006

June 15, 2021

Re: Planning Board Application
Block 41, Lot 2, 3, 3.01, & 4
4, 12, 14 & 18 Lane Avenue
Caldwell, New Jersey 07006
Review Letter 3

Dear Ms. Heun,

The applicant proposes to redevelop the properties located at 4, 12, 14, & 18 Lane Avenue in accordance with the Borough Redevelopment Plan. The applicant seeks the approval of the Planning Board for among other things, Preliminary major Site Plan approval, Final Major Site Plan together with any and all approvals as may be required to effectuate a reverse subdivision or reverse subdivisions of the Properties to, among other things if and as applicable and/or necessary and/or appropriate, to merge the properties and together with any and all variances, exceptions and waivers, as may be delineated in the Plans and/or as may be deemed or determined by the Planning Board to be required appropriate or necessary. The properties are located in the "IH-1" Zone District as per the Borough of Caldwell Zoning Ordinance §250-25 as well as the Borough of Caldwell.

General Information:

Applicant: S&S Caldwell Village, LLC
57 East Centre St., Bldg. 3 Unit 1
Nutley, NJ 07110
Phone: 973-277-2400

Owner: B1 41 Lot 2 & Lot 3.01
SSM at 4 Lane Ave Caldwell, LLC
2 Lane Ave, Suite 9
Caldwell, NJ 07006

B1 41 Lot 3 & Lot 4
S & S Caldwell Village, LLC
57 East Centre Street, Building 3, Unit 1
Nutley, New Jersey 07110

Applicants Thomas P. Scrivo, Esq., O'Toole Scrivo, LLC
Attorney: 14 Village Park Road

Planning Board Application
Block 41, Lot 2, 3, 3.01, & 4
4, 12, 14 & 18 Lane Avenue
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Cedar Grove, NJ 07009
Phone: 973-239-5700
Fax: 973-239-3400

Person with
Everyday
Responsibility: Thomas P. Scrivo, Esq., O'Toole Scrivo, LLC
14 Village Park Road
Cedar Grove, NJ 07009
Phone: 973-239-5700
Fax: 973-239-3400

Applicants
Architect: Steven Corso, AIA
676 Bloomfield Avenue #1
Bloomfield, NJ 07003

Applicants
Engineer: Patrick D. McClellan, P.E.
11 Furler Street
Totowa, NJ 07512
Phone: 973-812-6680
Fax: 973-302-3195

Applicants
Planning
Consultant: Jeffery Stiles, PP
220 Headquarters Plaza
West Tower 2nd Floor
Morristown, NJ 07960

Zoning: IH1 Inclusionary District Sub-District V Caldwell Redevelopment Plan

Proposal: The applicant proposes to redevelop the properties in accordance with the Borough Redevelopment Plan, variance free, as described in the plans and documents submitted to the Borough of Caldwell. The proposed redevelopment includes as follows; 4 Lane property will be retained with the existing twelve residential units, 12 Lane property will be modified to accommodate four residential units and the buildings on the 14 and 18 Lane property will be demolished and a new multi-family residential building will be established to accommodate ninety-eight residential units.

The applicant seeks the approval of the Planning Board for, Preliminary Major Site Plan approval and Final Major Site Plan. Approvals may be required to effectuate a reverse subdivision or reverse subdivisions of the properties to merge properties together with any and all variances, exceptions and waivers, as may be delineated in the Plans and/or determined by the planning Board to be required, appropriate or necessary.

The applicant intends to redevelop the properties in question by retaining the existing building on lot 2 which contains 12 residential units, modifying the interior of the

existing building on lot 3.01 to accommodate 4 residential units and residential units and remove the existing structures on lots 3 and 4 to construct a new multi-family residential building to accommodate 98 apartments. This proposal results in the net increase of 96 residential units (114 proposed minus 18 existing), including a set aside of affordable housing units.

In conjunction with the Proposed Redevelopment, the Properties will be merged into a single tract of land, which will consist of approximately 2.93 acres of land. As the 2.93 acres of land is in excess of one acre, the Redevelopment Plan permits and allows forty residential units per acre of land. Accordingly, the Proposed Redevelopment fully complies with the permitted density pursuant to the Borough Redevelopment Plan. The Proposed Redevelopment will result in the increase of ninety-six residential units as permitted by the Borough Redevelopment Plan and may include a set aside of affordable housing units as may be required by the Borough of Caldwell pursuant to applicable laws.

Documents Submitted:

The following drawings and information were submitted and reviewed by this office:

A) Site Plan:

1	Title Page	Rev # 2, dated 6/1/21
2	Existing Condition Demolition Plan	Rev # 2, dated 6/1/21
3	<i>Steep Slopes</i>	<i>Rev # 0, dated 6/1/21</i>
4	Site Dimension Plan	Rev # 1, dated 6/1/21
5	Utilities and Grading Plan	Rev # 2, dated 6/1/21
6	Lighting Plan	Rev # 2, dated 6/1/21
7	Landscaping plan	Rev # 2, dated 6/1/21
8	Soil Erosion and Sediment Control Plan	Rev # 2, dated 6/1/21
9	Construction Details 1	Rev # 2, dated 6/1/21
10	Construction Details 2	Rev # 2, dated 6/1/21

The above drawings were prepared by Patrick D. McClellan, P.E., NJ Lic. No. 38571, of MCB Engineering Associates, LLC, located at 11 Furler Street Totowa, NJ 07512.

B) Architectural Plan:

- A-1 *Lower Level & Ground Floor Plan, 18 Lane*
- A-2 *2nd & 3rd Floor Plan, 18 Lane*
- A-3 *4th Floor and Roof, 18 Lane*
- A-4 *Elevations, 18 Lane*
- A-5 *Front & Side Elevation 18 Lane*
- A-6 *1st & 2nd Floor Plan 14 Lane*

The above architectural drawings were prepared by Steven Corso, AIA, Lic. No. 21A101217500, located at 676 Bloomfield Avenue #1, Bloomfield, NJ 07003, all Revision not noted, dated May 28, 2021.

C) Property Survey:

Property Survey prepared by Joseph F. Barbieri Jr., Land Surveyor, NJ Lic. No. 35350 of Joseph F. Barbieri & Associates, Inc., Rev. # 1, dated April 22, 2021.

D) Stormwater Report:
 Stormwater Management prepared by MCB Engineering Associates, L.L.C., dated February 22, 2021.

E) Traffic Report:
 Traffic & Parking Assessment Report by Stonefield Engineering and Design, LLC, dated June 2, 2021. (Supersedes the Traffic Impact Study by Dynamic Traffic dated March 11, 2021)

- F) Additional Information Reviewed:
- 1) Planning Board Application
 - 2) Statement of Intent
 - 3) Addendum to Application
 - 4) Notice of Hearing Advertisement
 - 5) 200 ft. Notices
 - 6) Colorized Rendering of the Proposed Building

1. Area and Bulk Requirements:

Description		Zone [IH1] Requirement Sub-District V	Existing	Existing	Existing	Existing	Proposed	Status
			Lot 2	Lot 3.01	Lot 3	Lot 4		
Permitted Use: 6.7.6 Area + Bulk Requirements (Other than Townhouses)		IH1 Inclusionary Housing Zone Sub-District V					Lots 2, 3.01, 3 & 4 Multi-Family	C
Min. Lot Requirements	Area (sf.) (Acres)	15,000 sf.	24,850 sf.	20,969 sf.	43,692 sf.	36,449 sf.	125,960 sf. (2.892)	C(1)
	Lot Width (ft.)	50 ft.	65.5 ft.	55.00 ft.	116.62 ft.	90.39 ft.	327.40 sf.	C(2)
Max. Residential Density		40 D.U./Acre	N/A	N/A	1	1.24	39.4	C(3)
Maximum Impervious Coverage		70%	71.3	51.8%	12.4%	19.7%	58.1% (73,174 sf.)	C(4)
Min. Lot Depth		300 ft.	379.65 ft.	381.03 ft.	382.56 ft.	386.31 ft.	382.56 ft.	C
Principal Building	Front Yard (ft.) Prevailing Setback	22.5 ft. (3)	29.9 ft.	33.4 ft.	67.2 ft.	67.6 ft.	22.56 ft.	C
	Side Yard Setback (ft.)	10 (1Side)	15.2 ft.	4.9 ft. (e)	11.5 ft.	17.8 ft.	10 ft.	C
	Rear Yard Setback	30 ft.	159.8 ft.	258.1 ft.	270.6 ft.	295.3 ft.	120.31 ft.	C
	Maximum % Building Coverage	60%	26.4%	13.9%	3.9%	15.4%	37.3% (47,014 sf.)	C
	Maximum	Stories	4	2	2	2	2	3 1/5

	Building Height	Feet	50 ft.	<30	<30	<30	<30	42.44 ft.	C(5)
	Maximum Building Length	N/A		N/A	N/A	N/A	N/A	N/A	C
Accessory Building	Maximum Building Height	1 Story/ 15 ft.		N/A	N/A	N/A	N/A	N/A	C(6)
Transparency Minimum Floor				U	U	U	U	U	U(7)
Minimum Number of Spaces Ordinance		224		N/A	N/A	N/A	N/A	236	C(8)

C- Conforms, V- Variance, W- Waiver, U- Unknown and requires additional information or testimony, N – Existing Non-conformance

- 1) Totals of merged properties. Applicant/Owner shall sign documentation that if approved properties will be merged permanently by deed and that sub-division of the newly formed merged lot cannot be approved without Mayor and Council Approval. Deeds shall be recorded with the Essex County as approved by the Borough Attorney.
Comment: Note 16 has been added to Sheet 1.
- 2) Applicant to verify number of units and verify %.
Comment: Applicant verified 114 Units.
- 3) From Topology letter dated March 23, 2021 Page #8, B(3). "Prevailing Setback: Pursuant to the Redevelopment Plan, the prevailing setback shall mean "the average (mean) setback of all properties that are both within 200 feet of the subject property and on the same street, as measured along the center line of the right-of-way. The 200-foot distance shall be limited to the zoning district of the subject property."
Comment: The setback calculation is shown on the survey.
- 4) Plans shall depict the Impervious Coverage Area(s) of 73,174 sf. is/are located and their summation.
Comment: Complied
- 5) Building Height Corner Elevation calculations need to be updated. Corner elevations within the formula on Drawing #1, do not match the corner elevation within the box #5 on #4 drawing.
Comment: Complied. However, corner elevations on plan in south west corner does not match that within the calculation: 284.8 to 286.5?
- 6) No Accessory Building is shown on Plan.
Comment: Applicant stated that no accessory buildings are proposed; a note shall be added to the plan stating such.
- 7) Minimum Floor Transparency and Methodology Used shall be shown on the drawings.
Comment: The applicant stated that the architect will provide this information.
- 8) Parking Quantities shall be checked. The drawings mention 112 units, in the new structure, 12 units at 4 Lane and 4 proposed units at 12 Lane which should equal 114 Units. Therefore, 228 total Parking Spaces are required.
Comment: Complied, there are 234 spaces provided. In addition, the applicant is proposing to use 6 parking spaces as the loading zone during daytime hours.

We reviewed the Plans under the Borough Ordinances for compliance along with the Caldwell Redevelopment Plan. The following is the list of standards which the Plans are not in compliance with or are provided to highlight general information:

1. General Review:

1. Topographic overlapping side and rear property lines for minimum of 10 feet.
Comment: Complied. However, the topographic lines shall be labeled on adjacent properties.
2. Details section and profile, of all underground drainage retention/detention facilities as well as "Water Quality Devices" shall be added to the Plans.
Comment: The drainage systems cannot be reviewed until each system discharge is connected into a comprehensive storm system. Also, the details of the Hydrodynamic Separation Water Quality Devices shall be added to the plans. Revised Storm Water report was not submitted.
3. All retaining walls, proposed and existing shall have top and bottom elevation and all ends, change of directions and change of top of wall elevation.
 - a. All retaining walls shall be located from the property lines. Distance between property line and back off/front of wall (whichever is closest) shall be labeled on Plans.
Comment: Complied.
 - b. Proposed block retaining wall is located adjacent to the common property line with lot 5. The detail supplied for "Alan Block" type retaining wall more than likely will require "Geogrid" which appears to will be required to be installed on or up to the previously mentioned lot. Even though a note stating "Retaining Walls" are only provided for Planning Purposes Only, it appears the "Easements" or Temporary Construction Easements" may be required on the mentioned lot to construct wall adjacent to the property line.
 - c. All Retaining walls in the rear and side yards (not in the building envelop) over 6 feet in height Requires a Variance.
Comment: The south east corner of the retaining wall appears higher than 6 ft. top of wall 312.32. However, the bottom of the wall appears, from the grading lines, to actually be 304.25, creating a wall 8 ft. high. A Variance would be required.
4. Sidewalk in front of Lot 2, shall be replaced and widened to permit full access past utility pole in middle of walking path. Minimum ADA travel width shall be present at this location.
Comment: Complied. However, the ADA Ramp on the Southern Driveway should be move to the east so it is not interfered with by the tree planters.
5. From the existing Survey there are five existing drop curbs along Lane Avenue. The one in Front Lots 2 & 3.01 appears to remain. The two on Lot 4 do not appear to be reused and therefore must be labeled to be replaced on the Plans. There are two drop curbs in front of Lot 3. One appears to be aligned with entrance/Exit driveway. However the second does not appear to be re-utilized and therefore must be labeled to be replaced. All replacement curbs shall be full height concrete as per Essex County Engineer details and specifications.
Comment: Complied.
6. Proposed floor plans for building # 12 on Lot 3.01 and #4 on Lot 2 shall be submitted if interior is renovated, if not existing floor plans shall be Required.
Comment: The applicant shall supply these.
7. Developer must provide testimony that the bicycle storage areas are adequate.
8. Fire protection- Is a fire connection required for this structure? If so, it is required to be on the Site Plan.
Comment: Complied
9. This project will require a soil moving permit.

Comment: § 199-3 Permit required; No person shall cause any soil movement or land disturbance within the Borough without having first obtained a permit from the Borough Engineer. The provisions of this chapter and requirement of a permit shall not apply to any soil removal or land disturbance covering a total area of 500 square feet or 5% of the total land area of the premises affected, whichever is lesser. The developer shall submit Chain of Custody shall be submitted.

3. Redevelopment Plan

<u>Chapter</u>	<u>Complies, Deficiency or Non-Compliance</u>
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6.7.7	<u>Subdistrict Design Standards</u>
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6.7.7A	Ground floor fronting any street shall have minimum transparency of 25%. <i>Comment: See item #7 under Bulk Requirements Table.</i>
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6.7.7B.	Upper floor fronting any streets shall have minimum transparency of 20%. <i>Comment: See item #7 under Bulk Requirements Table.</i>
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6.8.	<u>Parking</u>
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6.8. A.1.iv.	For construction of 10 or more new parking spaces, at least 10% of spaces shall accommodate electric vehicle charging. <i>Comment: Complied</i>
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Parking Additional Comments:

- 1) 10% of total spaces to (EVC) be for electric cars. Approximately $234 \times 10\% = 23.4$ therefore 24 spaces for electric vehicles charging spaces. The EVC spaces must be located on the plan.
Comment: Complied
- 2) 6 parking spaces are not available for daytime parking spaces since the area is listed as the "Loading Zone" from 8a.m. to 6p.m. daily.
Comment: The applicant designated the six (6) spaces parking spaces used for loading during the day.
- 3) The central turn around has to be replaced with 2 parking spaces and 2 areas to make "K" turns to turn around. The applicant to give testimony on the efficiency and the safety of this design.
Comment: A turning template shall be added to the plans on sheet 4.
- 4) The rear surface parking aisle and the side surface parking aisle contain perpendicular parking space and therefore shall be 24ft. wide, the plans show 22ft. a Waiver is required.
Comment: Parking aisles have been extended to 24ft. no waiver is requested.
- 5) The aisle between the rear northwest parking spaces to a curb island is labeled 25ft., however the island and the southern parking aisle appears to be aligned where the distance is labeled 22ft, not 25 ft.
Comment: Parking has been reconfigured; this no longer applies.
- 6) The first two parking spaces directly behind the existing building #12 Lane appears to have a blind spot when exiting the spaces. Vehicles entering the driveway do not have a sight line with the 2 spaces if the vehicles are backing out of the spaces and the vehicle in the driveway turns at the rear of the building.
Comment: Applicant stated that 2 spaces will be designated for loading during the daytime but what happens if people are parked there at night?
- 7) The interior ramp width is not labeled but appears to be 21 ft., the minimum required is 22 ft. Also are wall or rails being designed on the sides of the ramp or will the ramp be open or the sides? If walls or ramps are to be utilized this width of such should be removed from the adjacent parking aisles or parking spaces. Additional dimensions shall be added across entire parking levels. In both directions.

- Comment: Complied*
- 8) Does the toe of the parking ramp extend into the, 24.33 ft. parking aisle or does it start at the 24.33 ft. parking aisle width.
Comment: Complied
- 9) Drawings shall show clearances below the ramp where the 3 parking spaces are proposed. Drawings to show top of ramp, thickness of ramp and top of first floor grade where cars will be parked.
Comment: Building was redesigned and these 3 parking spaces are no longer proposed.
- 10) All proposed columns on the first floor and second floor parking areas shall be shown on the site dimension plan. The columns are presently shown on the architectural plans. Reductions in aisle widths shall be made if columns are encroaching an aisle.
Comment: Complied
- 11) The drawings to illustrate and explain how the garage door will operate.
Comment: The applicant has stated the door will operate using a "Key FOB" allowing hands free access to the sheltered parking; a note shall be added to the plans stating such.
- 12) The parking aisles widths on the second floor shall be labeled.
Comment: Complied
- 13) A wall or safety rail shall be shown on the west edge of the single parking space on the second floor adjacent to the ramp. The car width of this parking space shall also be labeled on the plan. This is required to protect people and vehicles parked in this spot from approaching vehicles traveling up the ramp as well as the person stepping out of the vehicle to a drop off, unexpected step on uneven grade.
Comment: Rails were added to the architectural plans. However, similarly the rails shall be added to the Site Plans
- 14) On the second-floor parking level, the drawings to show what safety device/wall/rail that will be installed around that the ramp opening.
Comment: Rails were added to the architectural plans. However, similarly the rails shall be added to the Site Plans

ADA Parking Spaces:

- 1) Seven ADA spaces, including two van ADA spaces are required. Ten total ADA spaces are provided, including six ADA which are van accessible. There are four van ADA spaces located in the rear surface parking lot and four van ADA spaces located on the interior first floor parking area. There are no van ADA spaces located on the second floor interior parking area. Since the interior first floor contains the two van ADA spaces signage shall be posted at the bottom of the ramp indicating that there are no van ADA parking spaces on the second level the interior parking area or the plan shall re-arrange the second floor ADA spaces to include a van ADA parking space.
Comment: All van ADA spaces shall be labeled.
- 2) On the first-floor interior parking area the ADA parking spaces on the south section contains an aisle width of only 4ft.; 5ft. is the minimum (The adjacent ADA spaces which are labeled 9 ft. wide can be allowed to be 8ft. wide).
Comment: Complied

6.8.B
B.6.8.2

Bicycle Parking

Site plans shall show the proposed location of bicycle parking/storage facilities on the site and on the building floor plan design. A construction detail of the bicycle rack or facilities shall be provided.

Comment: A note stating 22 bicycles per each bicycle parking area shall be labeled on the plans. In addition, a note stating seven (7) bicycles can park behind Building # 12 or is it Building # 4?

Bicycle Parking Additional Comments:

- 1) The drawing contains 2 areas for bicycle parking spaces within the ground floor parking level. Each area is approximately 18ft. x 18ft.
- 2) Plans shall illustrate how 50 full size bicycles can fit into the 2 areas reserved for bicycle parking.
Comment: Complied. A third area has been added in the rear of the building.
- 3) Is it anticipated on using the second-floor parking level 2 corner areas for bicycle parking as well?
Comment: The applicant stated that all bicycle parking will be on the ground floor; a note shall be added to the plans stating such.

6.9 Loading and Unloading

6.9.A General Requirements

6.9.A.1-6 The specific parameters of loading space design and operations will be addressed within Redevelopment Agreement(s).

Comment: Applicant to give testimony on loading zone, size location and amount, details on all 3 buildings. See under Parking Additional Comments # 3.

6.11 Traffic Study

Comment: The Traffic Study will be reviewed by JDA Accident Reconstruction and Traffic Engineering.

6.12 Open Space

6.12.B.1 Buildings containing residential units shall provide a minimum out door amenity space at the following rates:

-Less than ten (10) units: 150 square feet per unit.

-Ten (10) or more units: 75 square feet per unit.

Comment: This development at 114 unit should designate 8,550 sf. of open space towards residential use. The plans show 8,774 sf. of proposed open/outdoor amenity space. Each individual proposed open/outdoor amenity space shall be shown with calculated square footage on the plan as well as a summarization chart indicating how 8,774 sf. of open/outdoor amenity space was achieved. Also, the applicant shall show the clear distances of the building overhang height in areas deemed to be open/outdoor amenity space.

Comment: The applicant has complied.

6.12.C. Signage

6.12.C.1 All projects within the Redevelopment Area shall comply with the §250-21 – Signs of the Zoning Ordinance of the Borough of Caldwell.

Comment: Applicant to provide testimony on signage. The Plans shall state “Signage is not part of these plans or Board Approved. All signage will Require Building Department review and approval.”

Comment: The applicant states that no signage is proposed for this project. Applicant to give testimony, as well as a note stating such shall be added to the plans.

6.12.D. Lighting

6.12.D.1 Developer shall propose a palette of fixtures and finishes for lighting that are modern, human-oriented and imaginative.

Comment: Finishes for lighting shall be added to the Plans.

Comment: Lighting information has been added to sheet 6 of the site plan. Lighting in the lower-level parking area shall be added to the plans

- 6.12.D.2 Lights are to be fully enclosed/shielded, full cut off fixtures to prevent light spillage onto off-site properties or upward into the sky. All lights are to be dimmable and capable of control by timer. All lighting shall be directed away from all adjacent lots.
Comment: Note on timers and dimmers shall be added to the Plans.
Comment: *Complied. A chart has been added to the plans.*
- 6.12.D.8 Outdoor lighting levels and illumination shall meet the following average maintained horizontal foot candles measured at average point of illumination
Comment: Lighting levels on lots 2 & 3.01 are at "0", Is this area not lit? If it is existing, the existing levels to be labeled on the Plans. If not, Applicant to give testimony on the lack of lighting.
Comment: *Complied*
- 6.12.E. Streetscape
6.12.E.1 A sidewalk along Lane Avenue, on the eastern side of the street located within the Borough, is to be a minimum of 6 feet wide and is to connect with sidewalks along Bloomfield Avenue.
Comment: Sidewalks to be 6 ft. wide minimum at narrowest point by tree planters.
Comment: *Complied*
- 6.12.E.2 ADA Compliance: ADA compliant tactile pavers shall be used to define the edge of any service drive or driveways. Tactile pavers shall be installed to the same standards required by ADA at the base of public sidewalk curb ramps and should indicate to pedestrians that they are entering the driveway.
Comment: The 2 driveways shall have ADA Compliant Pavers on the edge of the driveways.
Comment: *Complied. However, the ADA Ramp on the southern Driveway should be move to the east so it is not interfered with by the tree planters.*
- 6.12.G. Landscaping
6.12. G.1. Street Trees: Pollution resistant street shade trees are to be planted along both sides of the street, at regular intervals of 25 feet on center.
Comment: General Comment. *Complied. However, in lieu of planting trees within the sidewalk area, the Borough prefers that all tress be planted on the property side of the sidewalks.*
- 6.12. G.2. Landscaping: Landscaping, rain gardens and bioswales are encouraged to the greatest extent practicable.
Comment: General Comment. *The plans shall incorporate "Green Infrastructure Guidance" as recommended by the Caldwell Environmental Commission.*
- 6.12. G.3. Fences and walls shall not exceed three (3) feet in any front yard or six (6) feet in any side or rear yard.
Comment: General Comment. See General Review Comments # 2 & 3.
Retaining Walls Additional Comments:
1) A new topographic survey is required to show the adjacent property overlap. Including all existing retaining walls and driveways on adjacent properties.
Comment: *Complied. However, the topographic lines shall be labeled on adjacent properties.*
2) The distances between the back of the retaining walls to the toe of the next retaining wall shall be labeled on the plans.
Comment: *Complied.*
3) Two sections through the terraced retaining walls from the parking lot to the 10' overlap shall be submitted.

- Comment: Complied. The mentioned parking area has been removed from the project.*
- 4) Have any borings along the rear property line been performed to determine the type of soils to be encounter from the elevation of the adjacent properties to elevation of 305 as well as the existing water table elevation. The vertical cut required for the installation of the retaining walls will most likely encounter a significant amount of ground water. The plans should calculate the amounts of anticipated ground water as well as the plan to manage it.
Comment: The question raised concerning the ground water to be encountered when excavating a shear cut as proposed and what will be done with this ground water has not been answered.
- 5) Since terraced retaining walls are proposed and each wall does not appear to be separated by "2 times the wall height" distance of each other, each section of terraced walls shall have global slope analysis calculations to confirm total wall stability.
Comment: All Terraced will require global slope analysis calculations to confirm total wall stability.
- 6) The retaining wall along the northerner property line shall be dimensioned. The distance between the wall and property line at the closest distance as well as the top and bottom wall elevations.
Comment: Complied.
- 7) The retaining wall detail shows a batter from vertical. However it does not appear a batter is being shown on the plans. If a batter is to be utilized the offset distance must be shown within the terrace retaining wall separation distances as well as the global stability calculation.
Comment: A note stating all retaining wall batters will be offset to not reduce the distance between the top of the retaining wall and any adjacent property lines.
- 8) With regards to the retaining wall design, it is imperative in the approval stage of this application. Due to the size and quantity of the walls, if they cannot be built as per the plan, other items may need to be revised i.e., location of the parking, location any size any size of the building, amount of parking to mention a few. The detail also states "To assure no land disturbances on adjacent properties". The fact the retaining walls will be constructed at some points at 1 ft. from an adjacent property line will undoubtable cause some sort of disturbance to the adjacent property owner and therefore a temporarily construction easement will be required. If the retaining walls requires Geogrid and it needs to be installed beyond the property line then a permanent easement is required. If there is a construction method that could be used without the previously described easements; then that type of retaining wall should be shown on the plans.
Comment: The plans reduced the magnitude of proposed retaining walls with most retaining walls being moved well enough away from the adjacent property lines. The only wall which still could be an issue is the southern-most wall. A note shall be added to the plans stating that a "Construction Easement" may be required by the Borough Engineer after the retaining walls are designed and reviewed
- 9) All retaining walls 4 ft. high or higher shall contain fall safety fences along the entire length.
Comment: Complied. However, all walls on sheet 4 shall show the safety fence.

6.13

6.13A.

6.13A.1-6

Utilities

General Requirements

All utilities (including transformers, HVAC, generators, telecommunication equipment) shall be located in a way that is visually unobtrusive. Utilities shall be placed within the interior of the principal structure if feasible. Otherwise, utilities shall be located to the rear or side of the principal structure where such locations are infeasible inside.

Comment: General Comment. All utilities shall be located on the Site Plan.

Comment: Will be provided after further Architect updates.

- 6.13B. Water & Sewer
- 6.13B.1 Each development shall be connected to the public sanitary sewer and water systems, as approved by the Borough Engineer.
Comment: General Comment. *The applicant stated they shall comply.*
- 6.13B.2 Redeveloper(s) must ensure all project provide sufficient flow and meet all standards required by the Fire Department.
Comment: General Comment. *The applicant stated they shall comply.*
- 6.13B.3 For water and sewer, Redeveloper(s) must model and provide guidance to Borough of Caldwell on existing service and capacity to ensure proper service for any development proposed. Continued monitoring and coordination with the Borough of Caldwell is required for all projects.
Comment: General Comment. Applicant must Submit information on the existing water and sewer services and capacities.
Comment: *The applicant stated they shall comply by way of filing a water main extension application.*

Sanitary Sewer Additional Comments:

- 1) The inverts of the existing sanitary manholes on Lane Avenue shall be labeled on the plans. In addition the size, length, slope and type of pipe of the existing sanitary sewer on Lane Avenue.
Comment: *Complied*
 - 2) The applicant will require a TWA from the NJDEP.
Comment: *The applicant stated they will file a treatment works approval application for this project.*
 - 3) The review of the sanitary sewer connection is to be reviewed by the Caldwell Sanitary Sewer Licensed Operator.
Comment: *The applicant stated they will comply.*
- 6.13B.4 Fire hydrants shall be installed by the developer in adequate numbers and at locations recommended by the Borough Engineer.
Comment: General Comment. Fire hydrants, if required, location shall be approved by the Caldwell Fire Department.
Comment: *The applicant will comply.*

6.13C. Stormwater

- 6.13C.1 All projects within the Redevelopment Area shall comply with Chapter 206 – Stormwater Control of the Borough of Caldwell General Legislation.
Comment: Stormwater Plan under review by The Borough Engineer. Also See Comment “General Review #2”
- 6.13C.2 All projects within the Redevelopment Area shall be considered a ‘major development’ as defined under Chapter 206 – Stormwater Control of the Borough of Caldwell General Legislation.
Comment: Stormwater Plan under review by The Borough Engineer, however; the following is noted:
Comment: *Since a revised Strom Water Report was not submitted, these following comments will stay open.*

Stormwater Additional Comments:

- 1) Since lots#14 & #18 are relatively undeveloped (single family homes on larger lots) the existing flow of the site should be considered spread along this frontage of the 2 lots.

Reviewing the existing topographic on Lane Avenue shows a high point elevations 282.6 along the center of the road which coincides with the property line separation these two lots. Since, spot elevation are not supplied along the western curb/gutter line of Lane Avenue, an assumption can be made that there is also a high point, within this curb/gutter, aligned with the same property line.

Therefore, besides the combination of flows previously given a new set of calculations will be required, since part of the flow will travel north to Bloomfield Avenue and part will flow south from this high point on Lane Avenue. The new calculations will demonstrate the existing flow from lot 4 alone flowing south and the existing flow from lot's 2, 3.01 and 3 shall be generated together flowing north.

- 2) There are no storm sewers located in Lane Avenue in front of the project, so new storm pipes running north to Bloomfield Avenue and running south in the direction of Klimback Court will be required, unless a total different basin system is designed.
- 3) On the proposed flow calculations the flows should be compared to the north/south existing flows as established in the previous comment #2.
- 4) Time of the peak proposed flows north and south shall be compared between the existing and proposed hydrographs to check the timing of the peaks to determine that the proposed design does not have a negative impact on the existing system(s) the flow will be discharging into.
- 5) The inverts of the nearest existing storm facilities to the north and south of development on Lane Avenue shall be labeled on the plans. In addition the size, length, slope and type of pipe of the existing storm sewer to the north and south of development.

6.13D.
6.13D.1

Refuse

Refuse shall not be located in any required front yard or buffer.

Comment: How many refuse location are proposed? One is shown in Plans. Applicant to provide testimony.

Comment: Applicant to provide testimony.

6.13D.2

All outdoor refuse shall be visually screened within a durable, non-combustible enclosure, so as not to be visible from adjacent lots or sites, neighboring properties or streets.

Comment: Location of refuse area with proximity to lot 12.04. Applicant to provide testimony.

Comment: The refuse has been relocated and testimony will be provided regarding the refuse/recycling collection and disposal.

6.13D.3

Screening may be accomplished through the use of planting buffers, fences or walls, and shall be high enough to screen these structures.

Comment: Refuse enclosure details to be added to the Plans.

Comment: The applicant to supply facade details in the future. However, it is suggested that the enclosure be made of masonry and the exterior of the enclosure match the exterior of the building.

250
250-8.N

Zoning

Steep Slopes

A drawing that show the areas of steep slopes utilizing the new topographic survey that will be prepared, as outlined in Caldwell Code §250-8(N), with the following slopes shall be submitted.

- 1) In areas with slopes greater than 35%, no disturbance shall be permitted.
- 2) In areas with slopes greater than 25% to 35%, no more than 30% of such area shall be disturbed.
- 3) In areas with slopes greater than 15% to 25%, no more than 60% of such area shall be disturbed.

- 4) In areas with slopes of 15% to 0%, unlimited disturbance shall be permitted, provided it is in compliance with other provisions of the ordinance.

Comment: Steep slopes submittal is being reviewed by the Borough Engineer.

Comment: *Complied*

250.20.B.

Minimum Design Standards

250.20.B.(4)

Required size of loading /unloading berths. A loading berth shall have a minimum width of 12 feet and a minimum fifteen-foot overhead clearance. The length of the loading berth shall be such that the horizontal distance from the front of a dock for back-in parking to the limiting boundary of the loading and unloading area shall be not less than twice the overall length of the longest vehicle expected to use the facility, but not less than 40 feet in any case.

Comment: Loading berths shall be 12 feet by 40 feet minimum. The plans show a loading booth of 9 ft. x 54 ft. See Parking Additional Comments #3.

Comment: *The Applicant states the Loading Space is 18 ft x 54 ft, however, it is in the same location as 6 parking spaces. Parking spaces to be used only at night time.*

250.20.B.(12)

General location. In all nonresidential zones, off-street parking space may be located in the front, side and rear yards; provided, however, that no parking area shall be located nearer than five feet to any property line.

Comment: All parking shall be located and dimensioned on Plan.

Comment: *Complied*

250.20.B.(17).b

In all residential zones, any items included in items B(17)(a)[1] through [9] above shall not be permitted to park in the rear yard unless they are properly screened from the view from adjacent properties. Parking in the rear yard shall be permitted only on impervious surface... said impervious surface shall not exceed the maximum allowed in the respective zone. A buffer shall be provided in accordance with Subsection B(16) to shield adjacent properties from the view of the items listed.

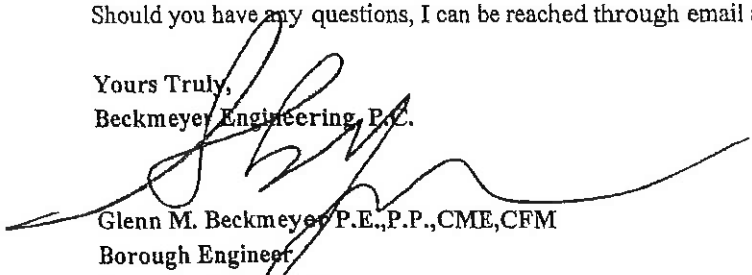
Comment: All parking in rear of property shall be screened from the view from adjacent properties. Applicant to provide testimony.

Comment: *Applicant to add landscaping that will screen the north-east property line adjacent to the rear parking area.*

The above comments are intended to point out the sections that are not in compliance (open) with the Ordinance along with comments. A technical review will be completed on this plan only when the applicant submits the required information for a complete Site Plan Development Application. Site Plan shall include all requested information and answers the non-compliance's or is granted waivers and/or variances. It shall also be the intent of the applicant to follow all rules and regulations in accordance with the County of Essex, HEP Soil Conservation District, New Jersey Department of Environmental Protection, Caldwell Water and Sewer Departments, Caldwell Fire and Police Departments and the Health Department.

Should you have any questions, I can be reached through email at gbeckmeyer@caldwell-nj.com.

Yours Truly,
Beckmeyer Engineering, P.C.


Glenn M. Beckmeyer P.E., P.P., CME, CFM
Borough Engineer
Borough of Caldwell

Planning Board Application
Block 41, Lot 2, 3, 3.01, & 4
4, 12, 14 & 18 Lane Avenue
Caldwell, New Jersey 07006
Review Letter 3

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